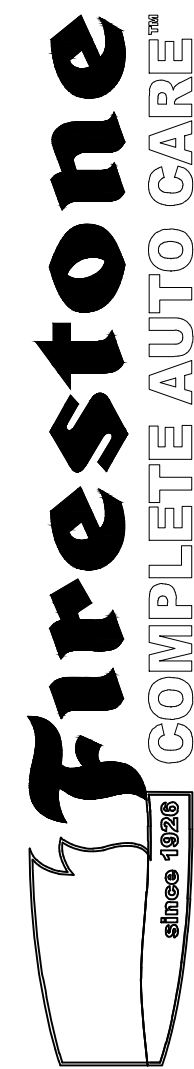




Vanasse Hangen Brustlin, Inc.



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FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840



ZONE APPROVAL (BY/DATE):
VP. _____
CONTR. _____
RM. _____
CM. _____

PROPERTY NO.: 000000
6 DIGIT NO.: 000000
4 DIGIT NO.: 0000

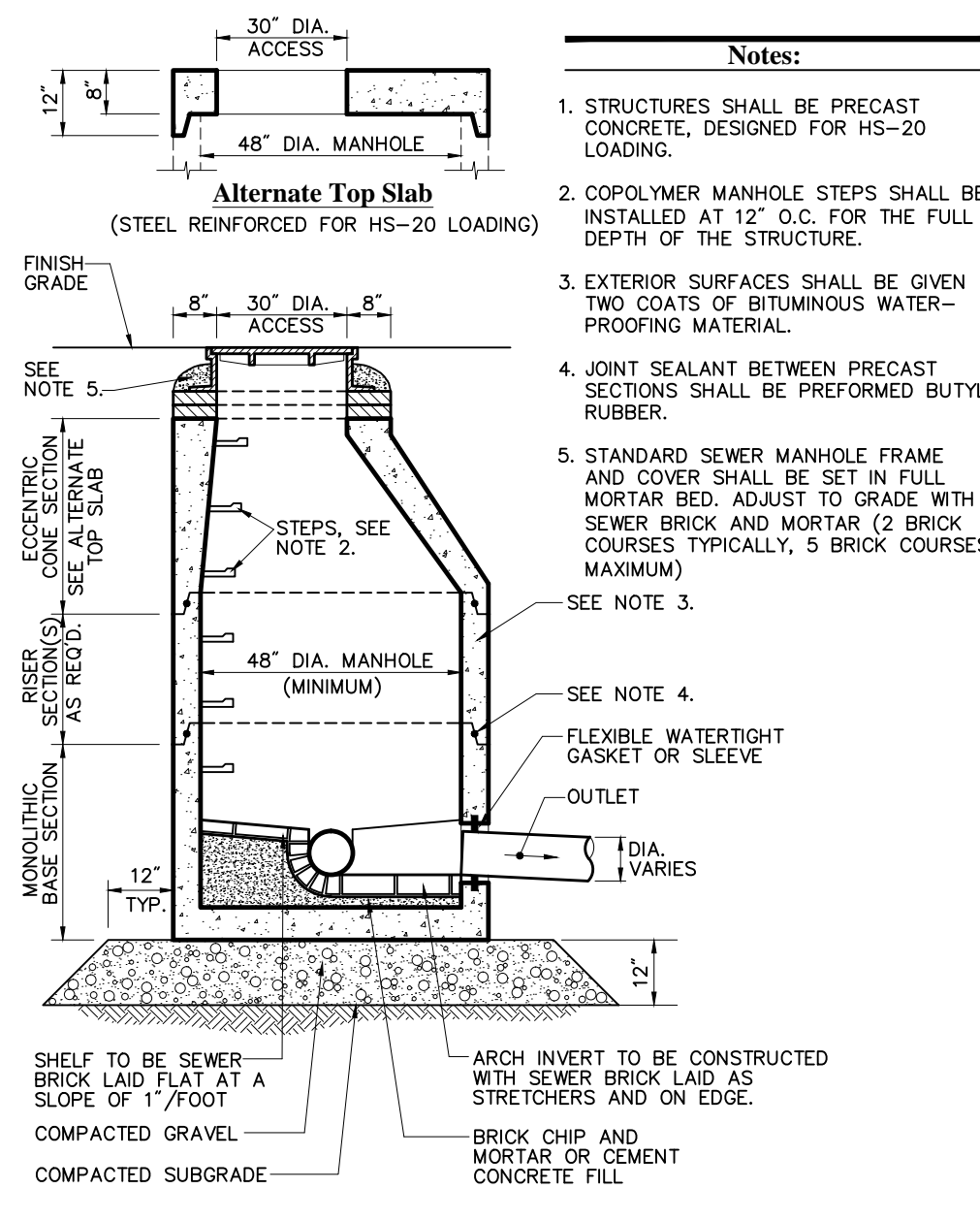
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LOCAL APPROVALS: DATE: 11-26-12
TOWN COMMENTS: DATE: 01-22-13
TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13

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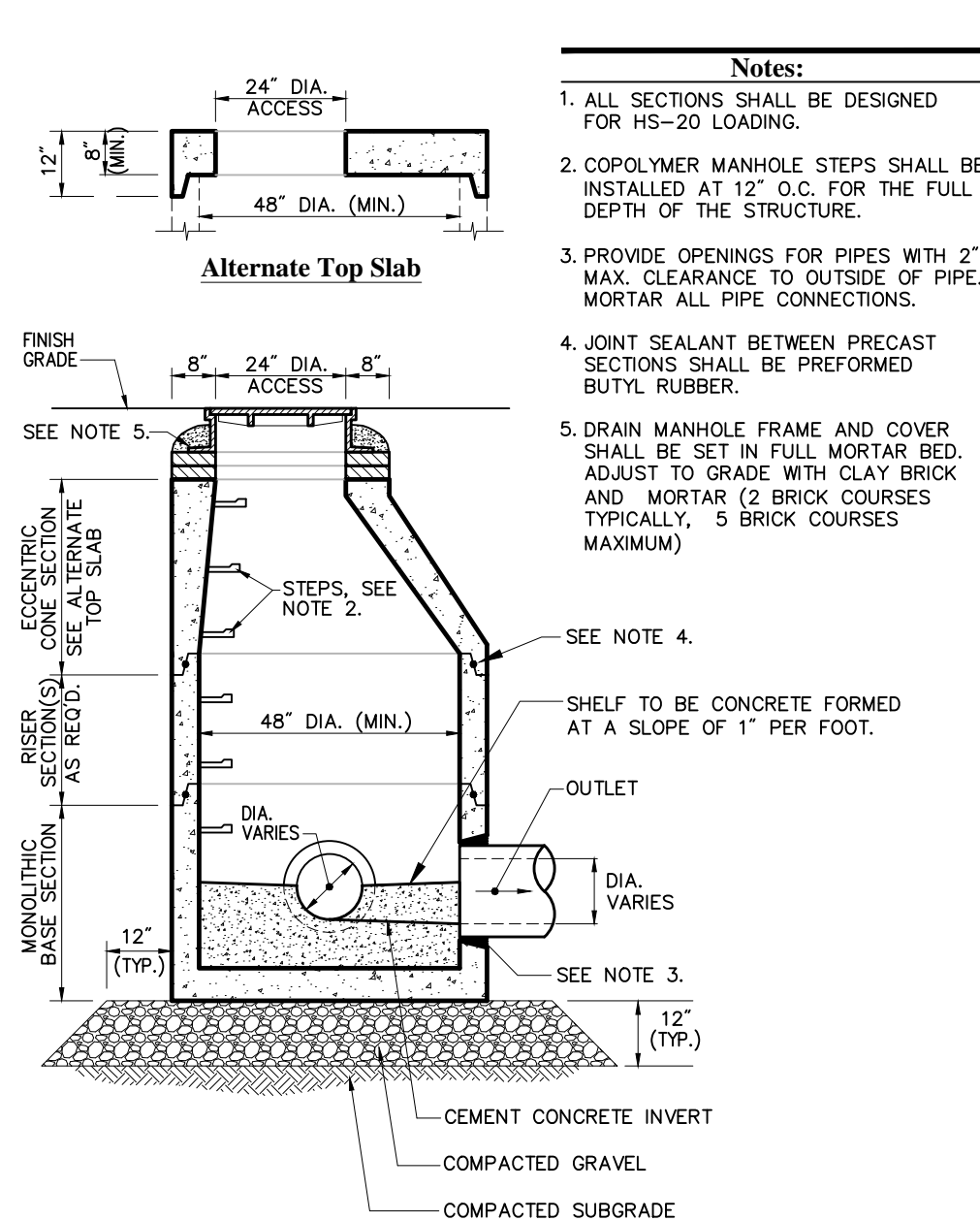
SITE DETAILS 2

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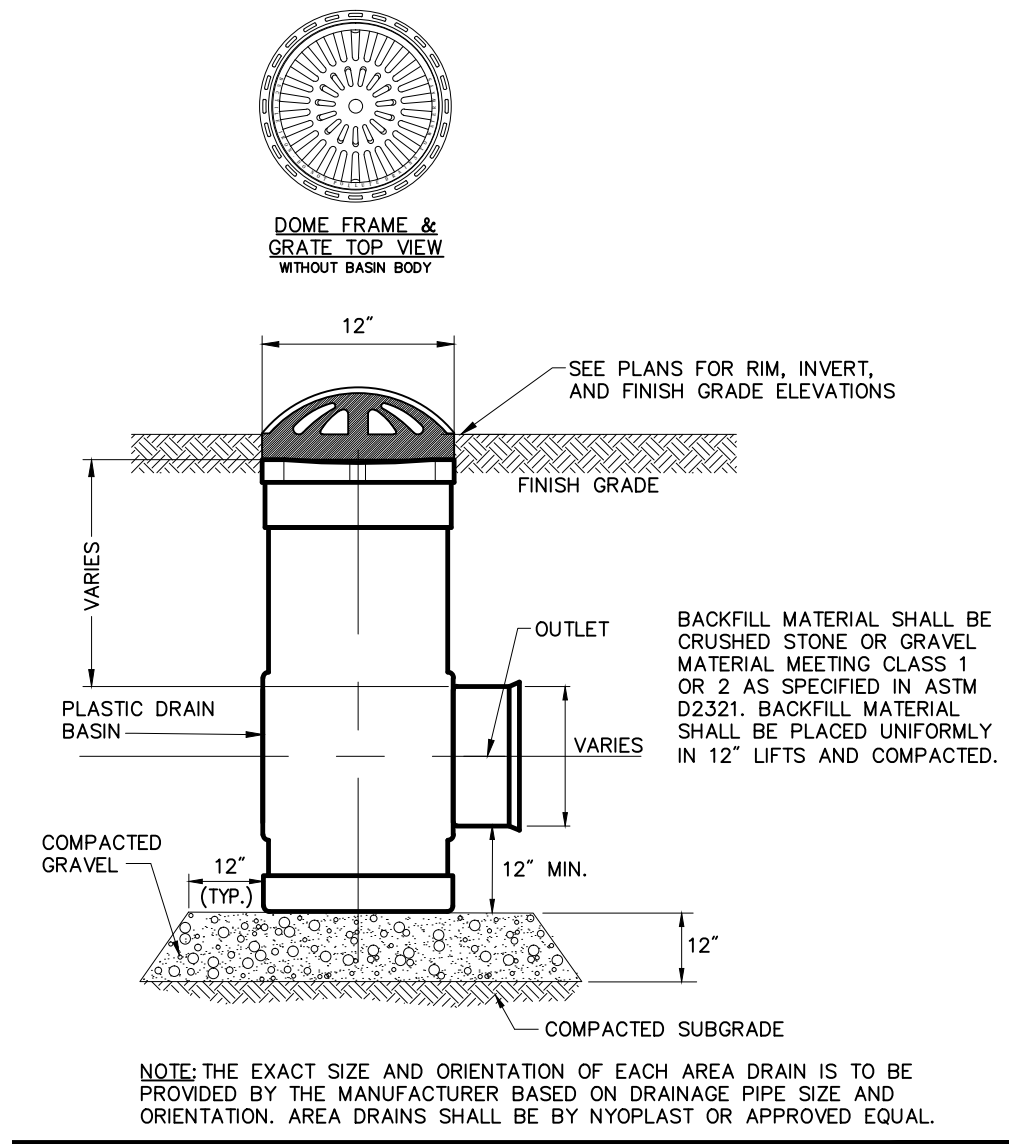
C-8



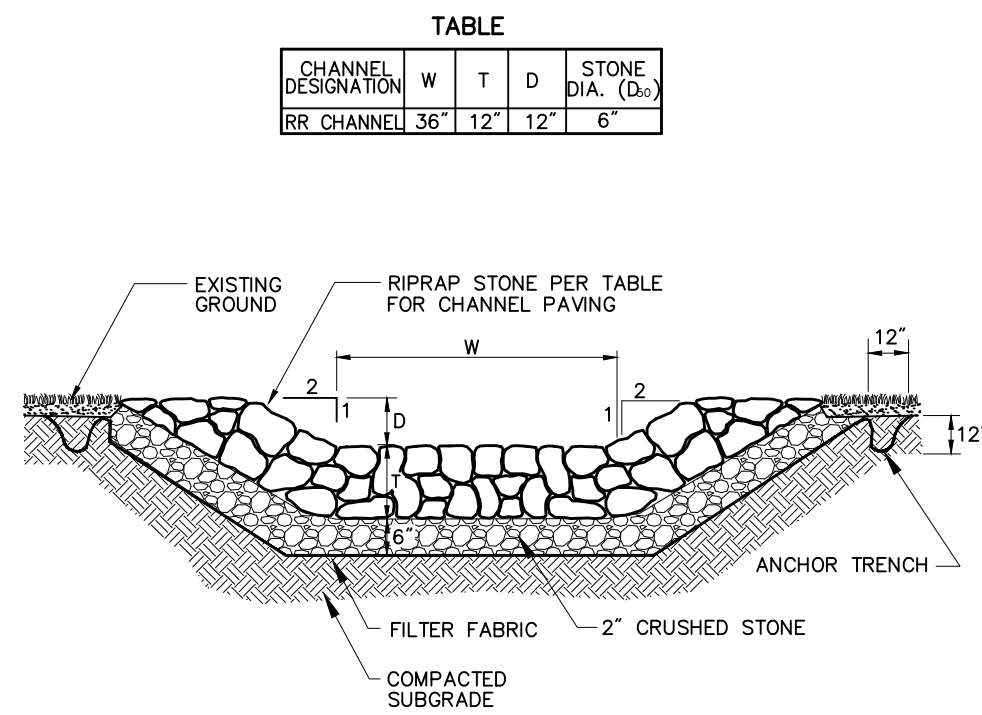
Sanitary Sewer Manhole (SMH) 6/08
N.T.S. Source: VHB LD_200



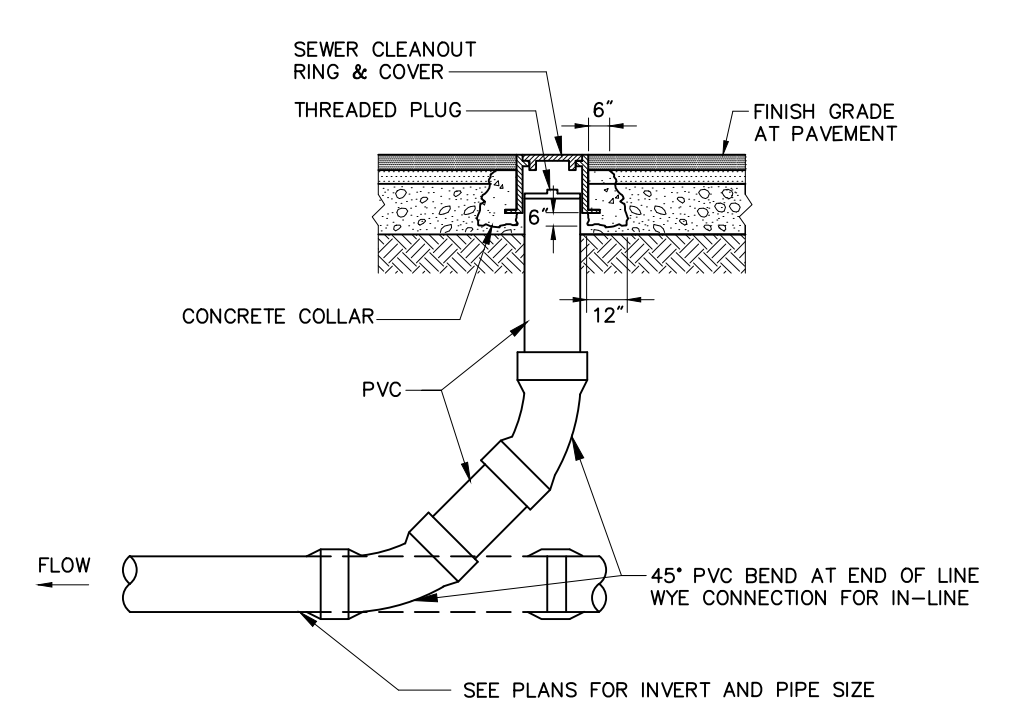
Drain Manhole (DMH) 6/08
N.T.S. Source: VHB LD_115



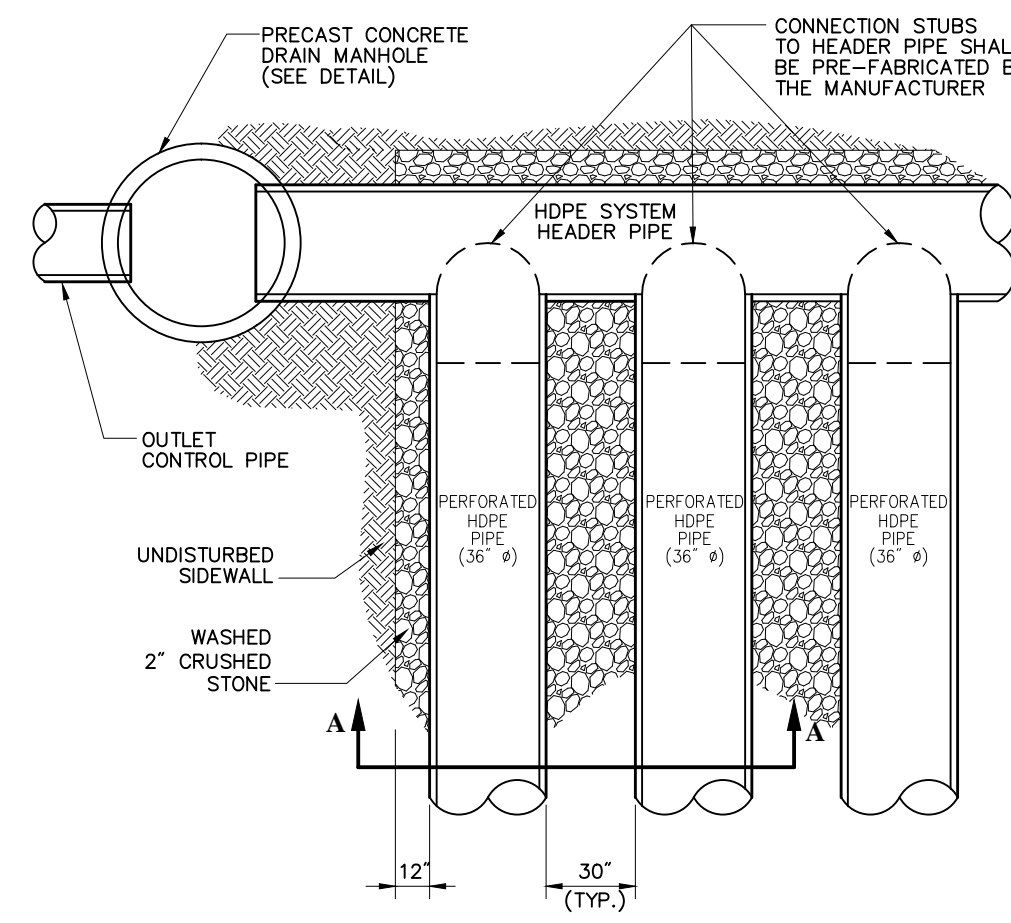
Area Drain (AD) 3/04
N.T.S. Source: ADS



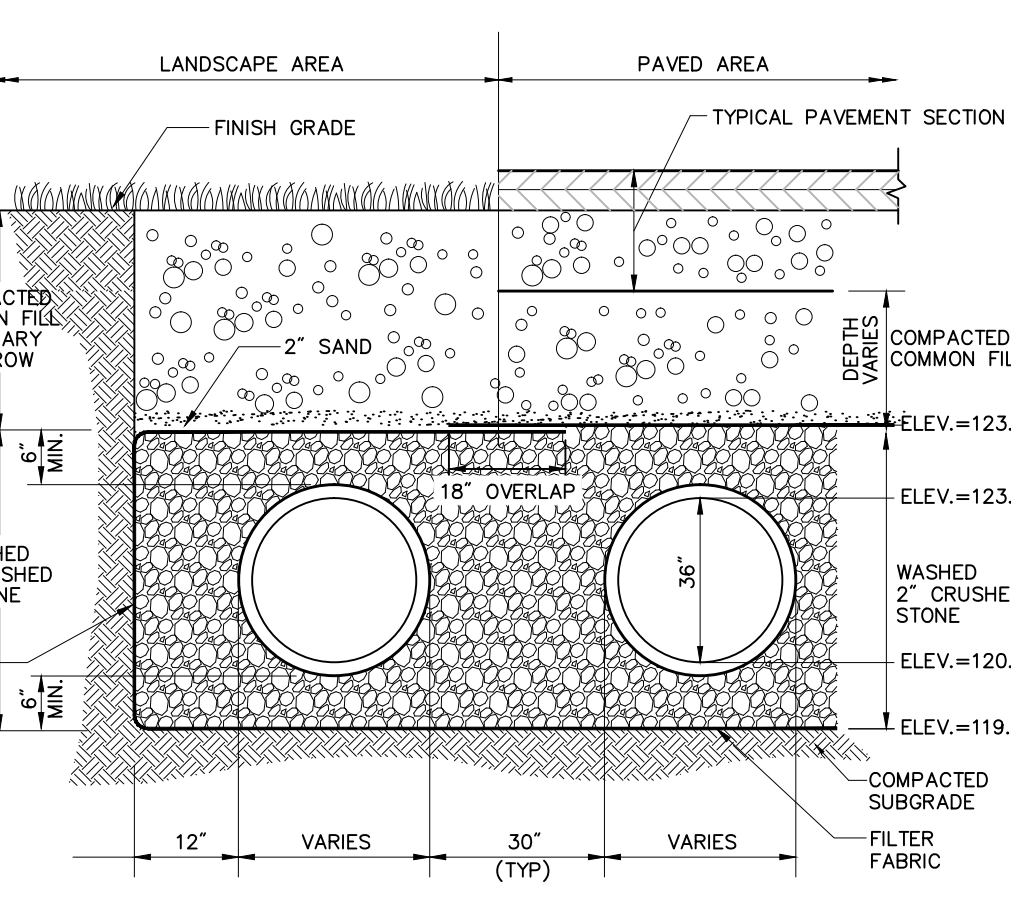
Riprap Channel 6/08
N.T.S. Source: VHB LD_170



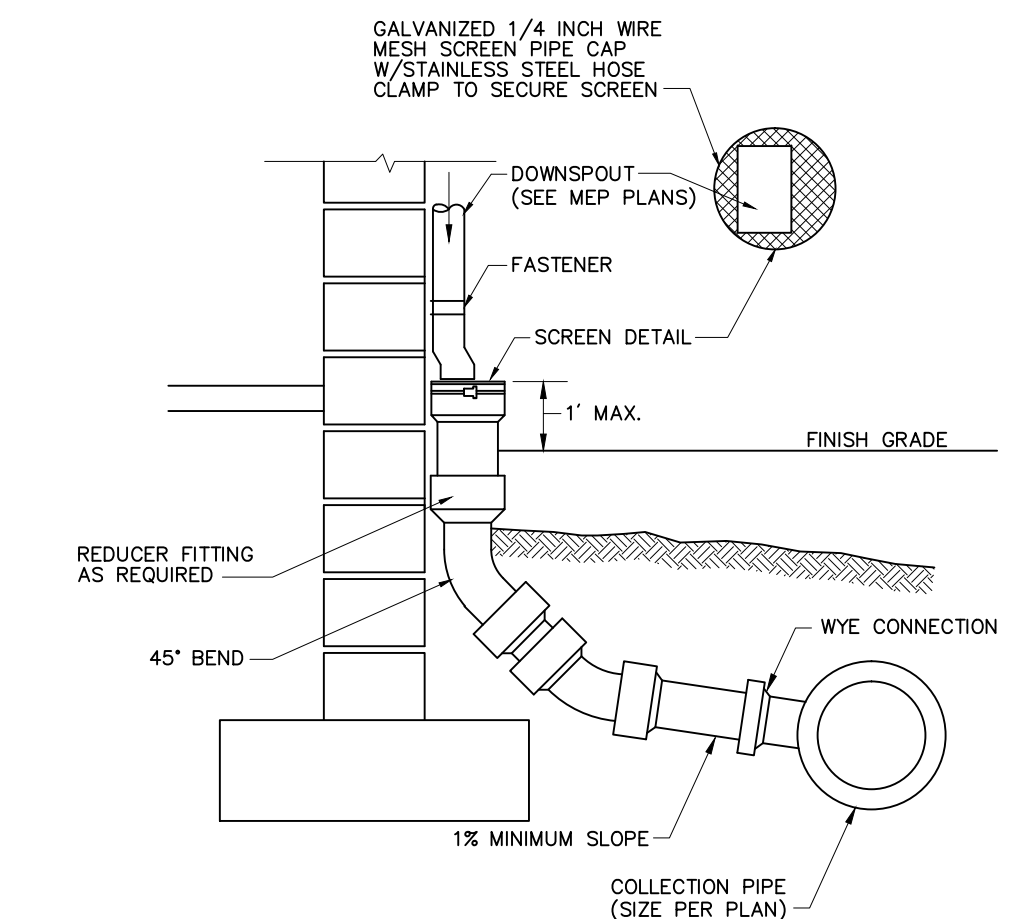
Cleanout - Paved Area 11/10
N.T.S. Source: VHB LD_303



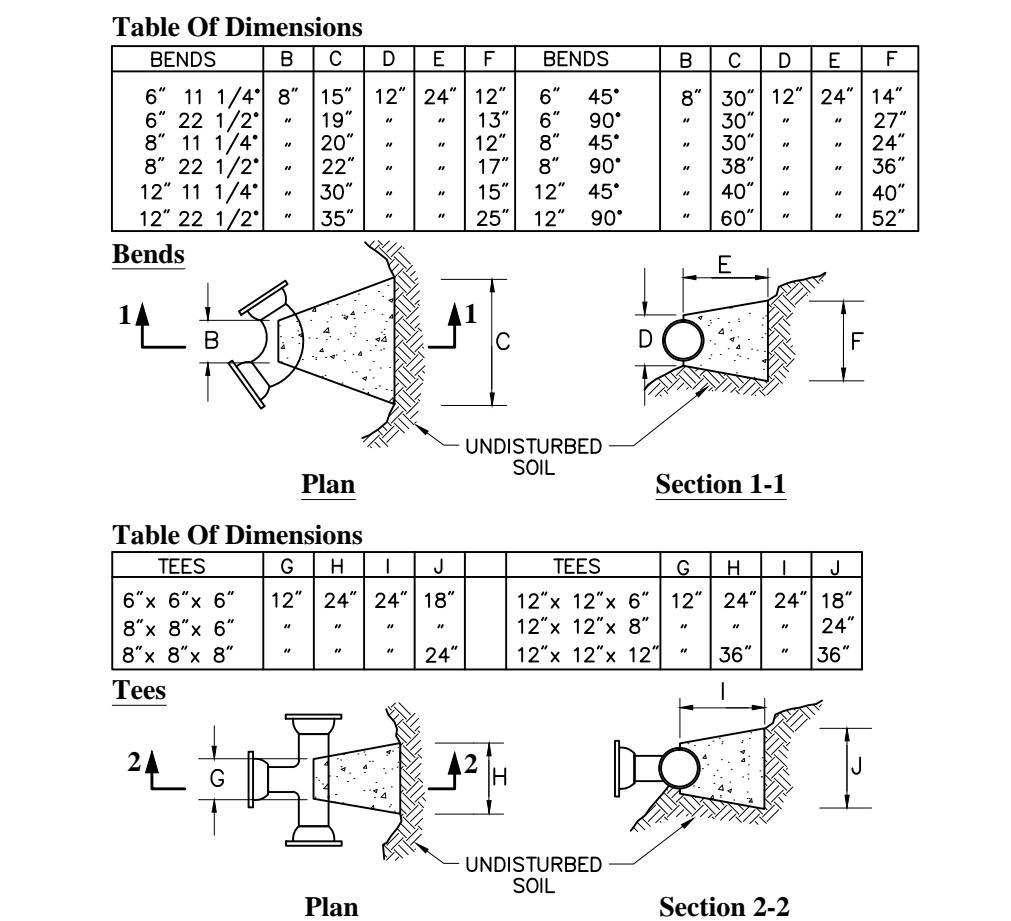
Underground Infiltration System 4/11
N.T.S. Source: VHB REV LD_183



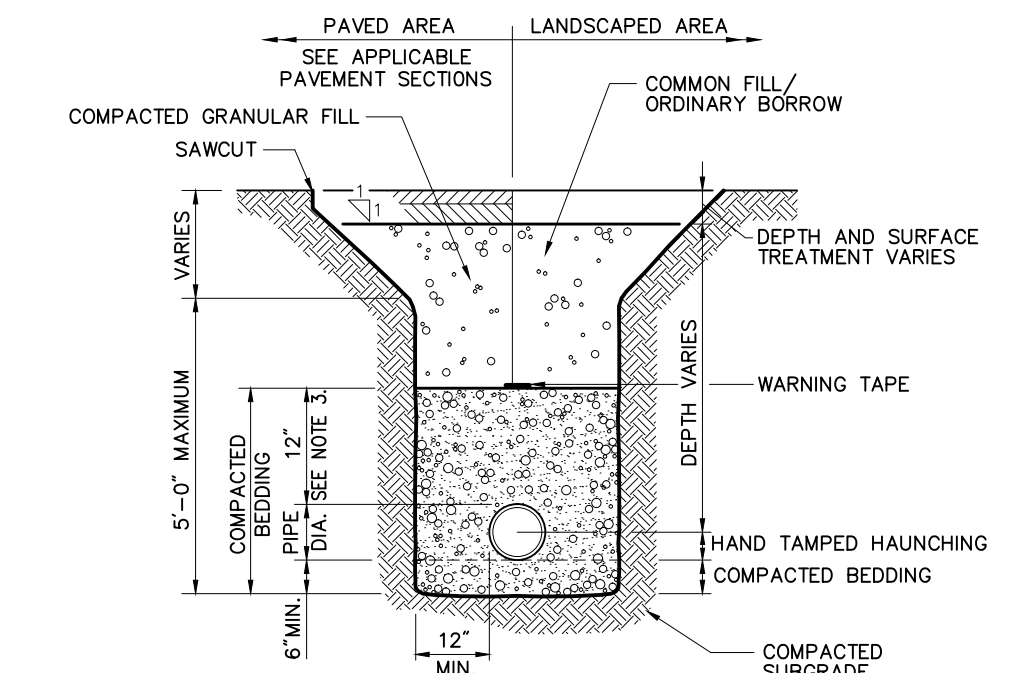
Underground Infiltration System 4/11
N.T.S. Source: VHB REV LD_183



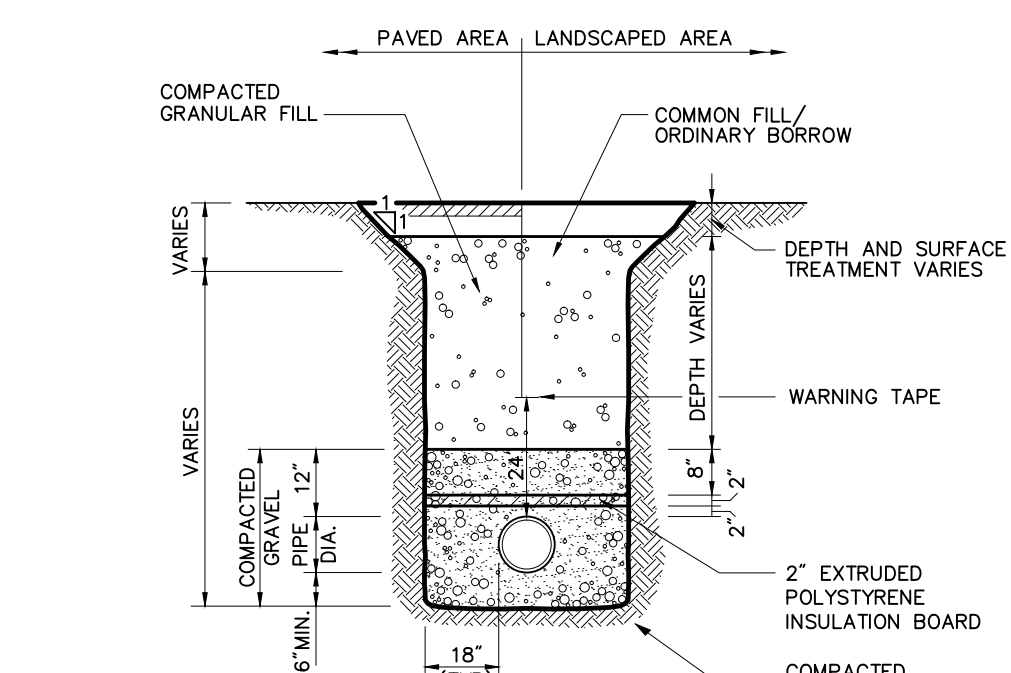
Downspout Rain Leader Connection 6/08
N.T.S. Source: VHB REV LD_195



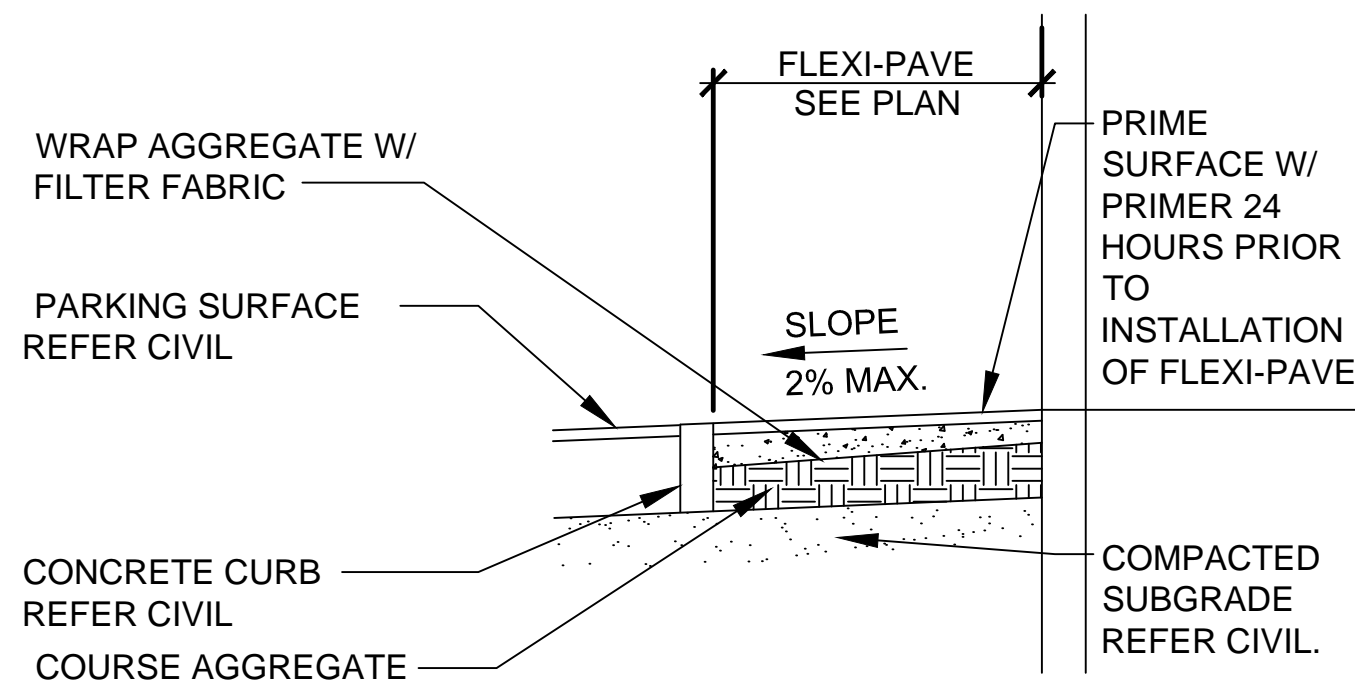
Concrete Thrust Block 10/10
N.T.S. Source: VHB REV LD_260



Utility Trench 6/08
N.T.S. Source: VHB LD_300

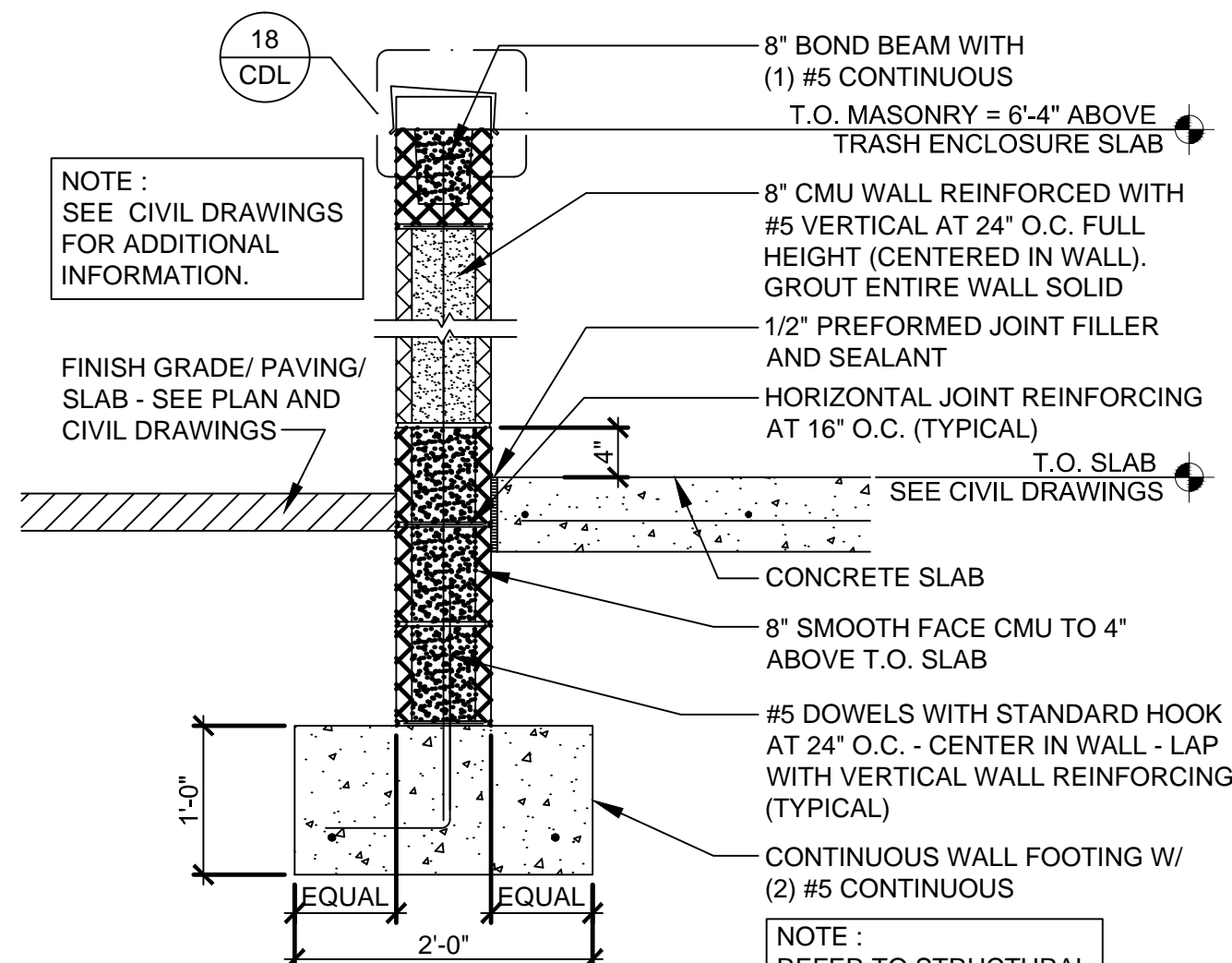


Sewer Line Insulation 6/08
N.T.S. Source: VHB LD_219

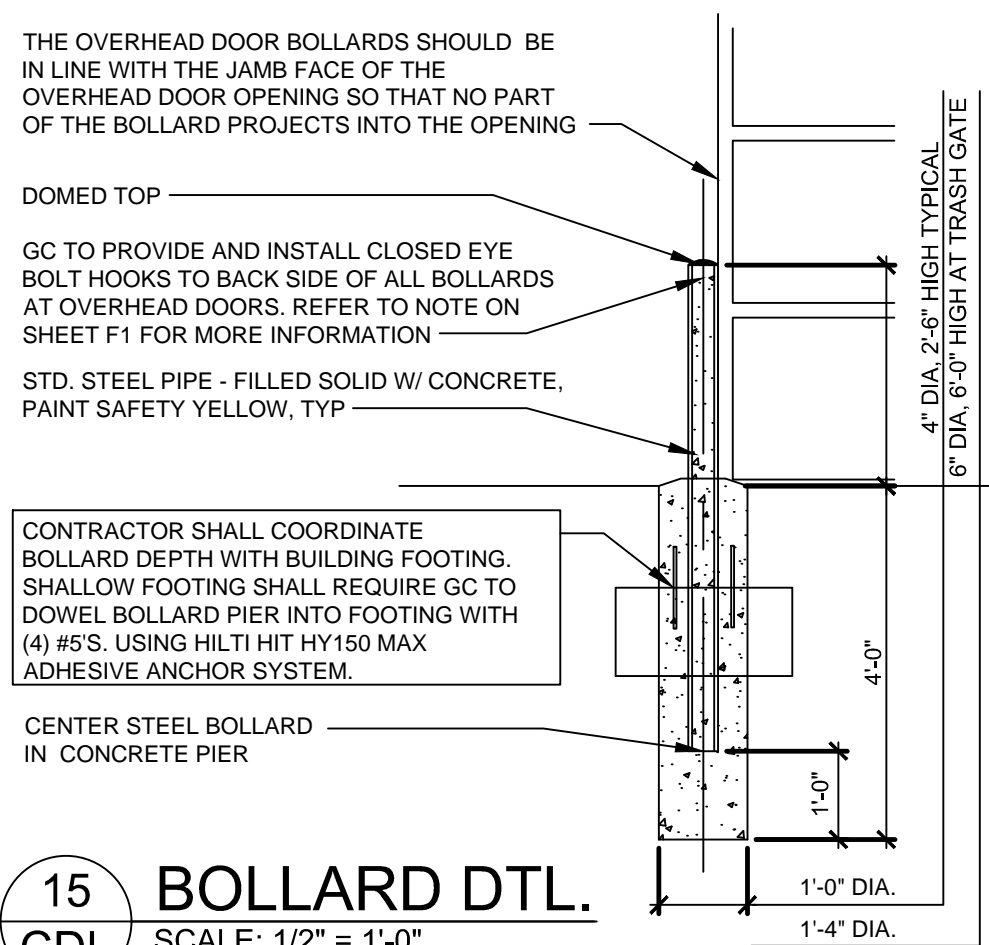


- GENERAL NOTES:
1. CONTRACTOR TO PROVIDE SUB-GRADE PREP PER MANUFACTURES RECOMMENDATIONS.
 2. FINAL SURFACE TO MEET OR EXCEED ADA REQUIRMENTS.
 3. PROVIDE COLOR AS DESIGNATED ON SHEET A1.

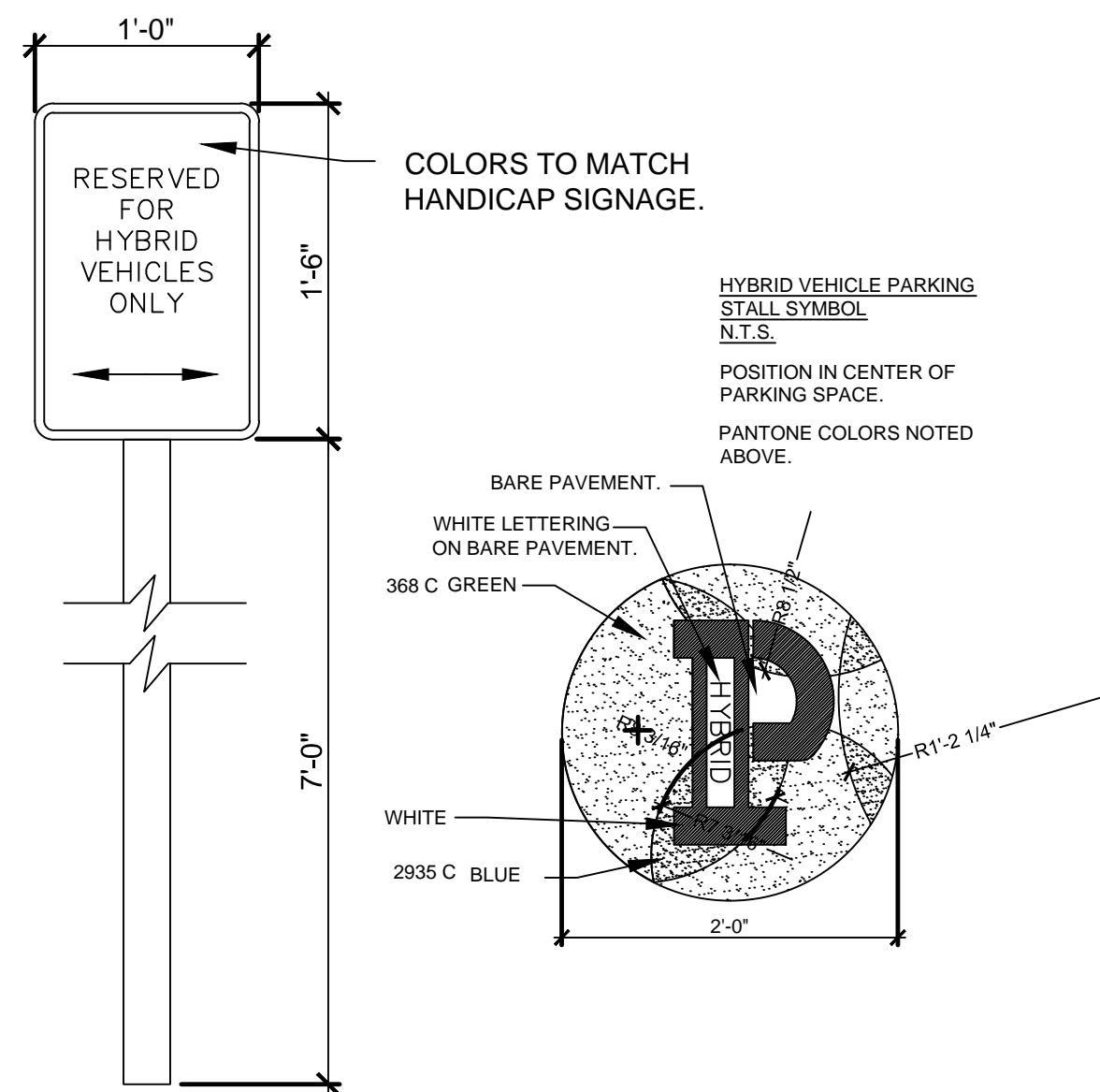
1 FLEXI-PAVE DETAIL (FLUSH)
CDL SCALE: 1/4" = 1'-0"



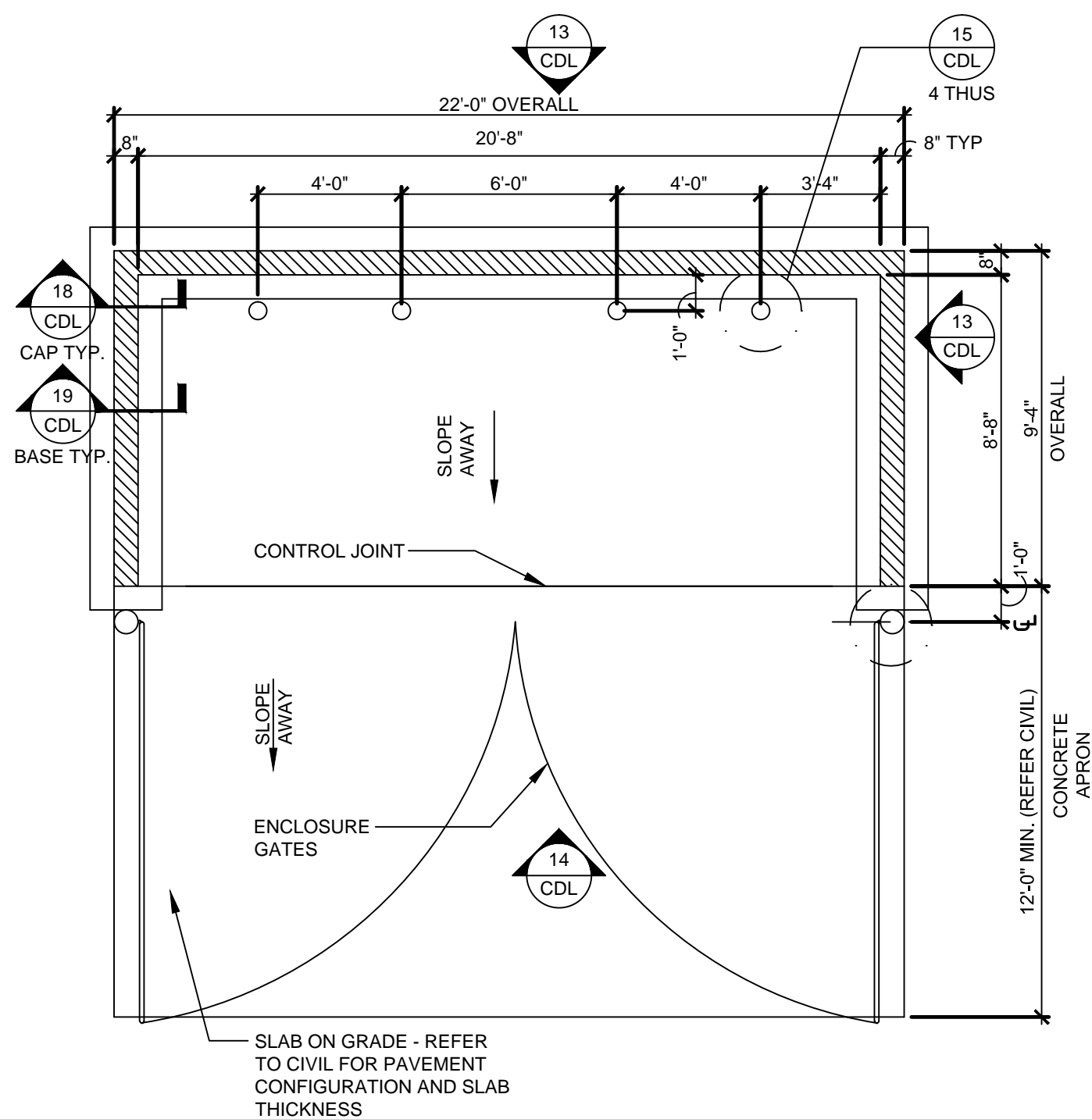
19 WALL SECTION
CDL SCALE: 3/4" = 1'-0"



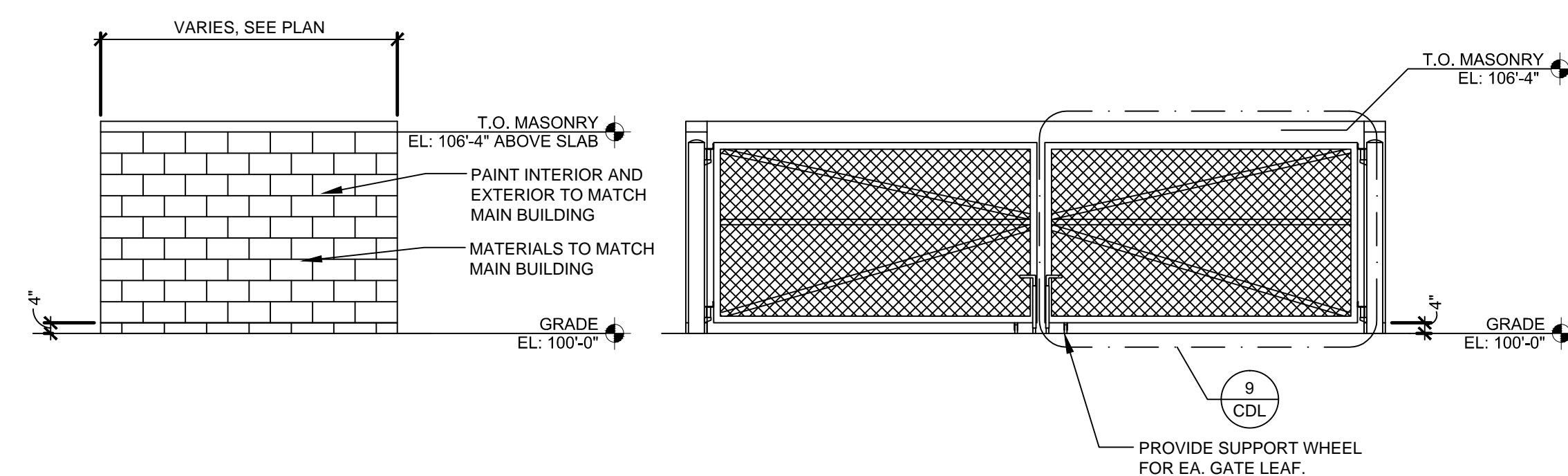
15 BOLLARD DTL.
CDL SCALE: 1/2" = 1'-0"



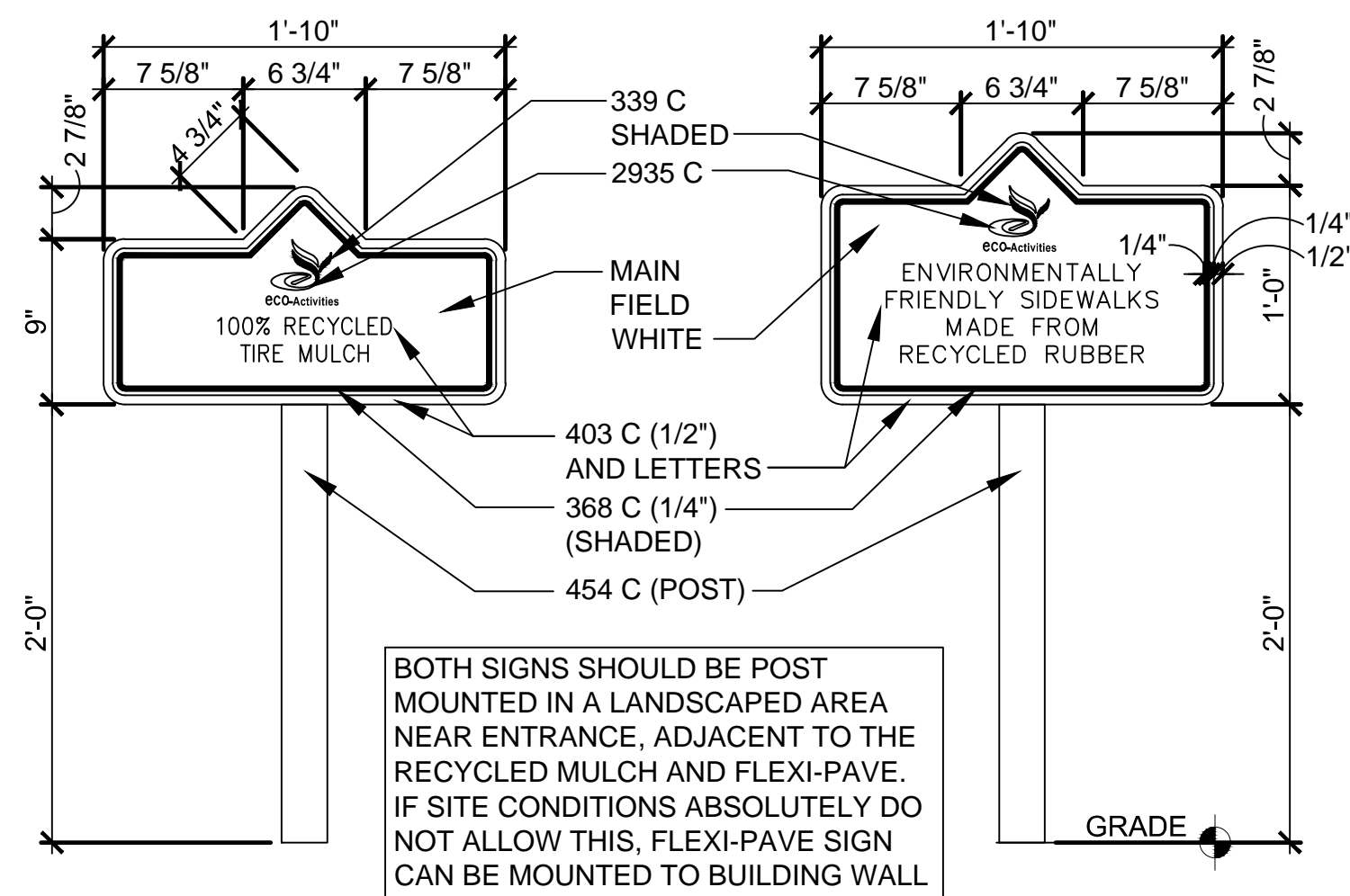
10 HYBRID PARKING SIGNS
CDL SCALE: 1" = 1'-0" (PROVIDED AND INSTALLED BY G.C.)



8 TRASH ENCLOSURE PLAN
CDL SCALE: 1/4" = 1'-0"

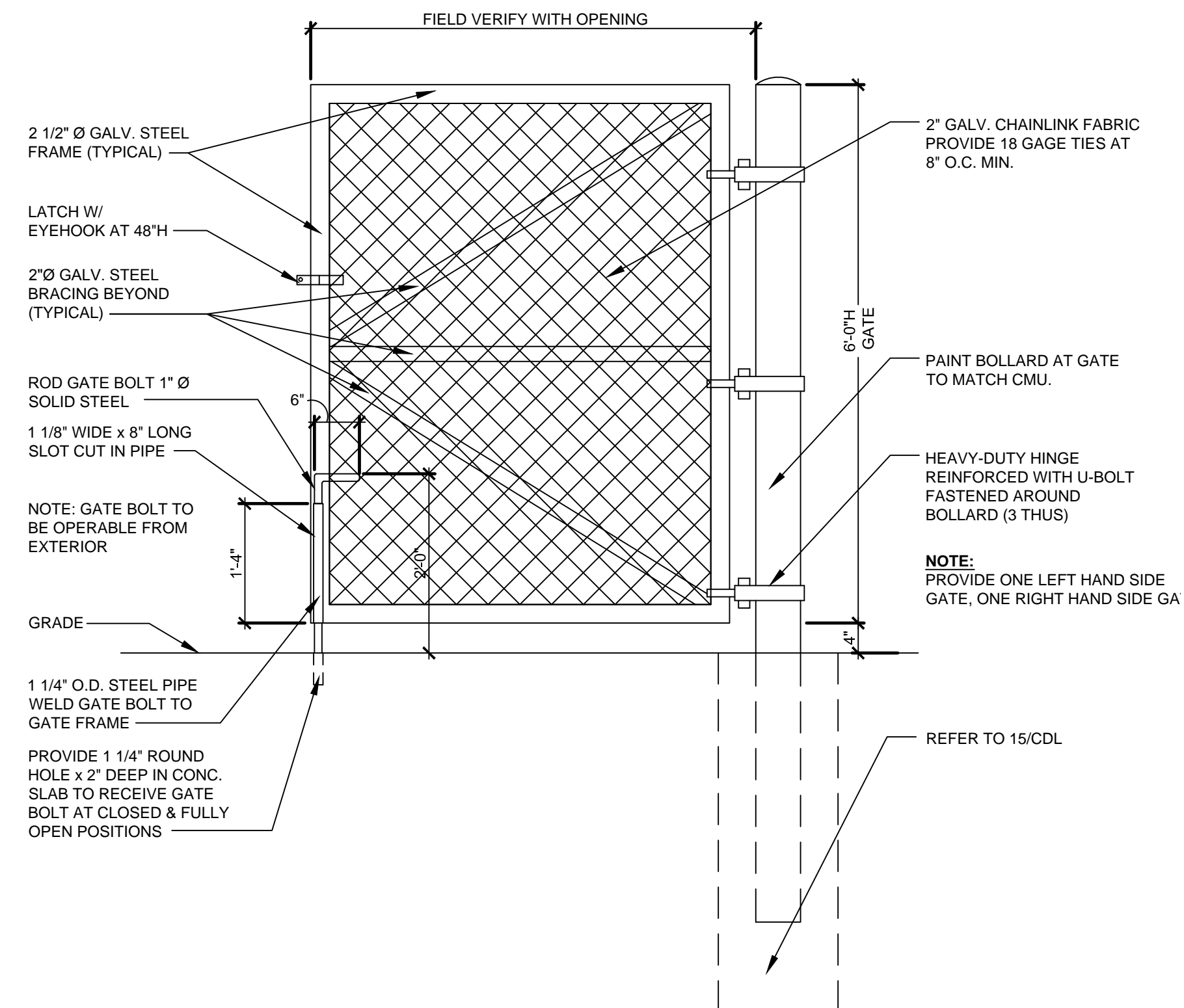


13 TRASH ENCLOSURE ELEV.
CDL SCALE: 1/4" = 1'-0"



.125" THICK ALUMINUM POST, BASE AND SIGN PANEL ELECTROSTATICALLY APPLIED POWDER PAINT FOR DURABILITY AND RESISTANT TO CHIPPING, PEELING, AND SCRATCHING. GRAPHICS WILL BE VINYL CUT USING 7 YEAR HIGH PERFORMANCE CAST FILM. RECYCLED PLASTIC OR ALUMINUM CONSTRUCTION. PANTONE COLORS NOTED ABOVE.

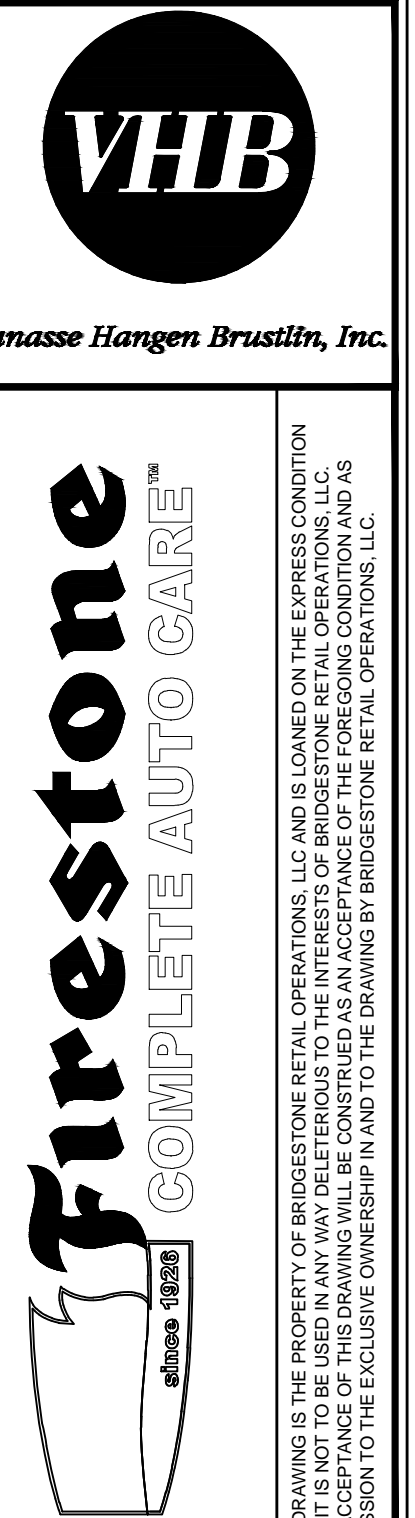
16 ECO-ACTIVITY SIGN
CDL SCALE: 1" = 1'-0" (PROVIDED AND INSTALLED BY G.C.)



9 GATE ELEV.
CDL SCALE: 3/4" = 1'-0"

APPROVED BY THE NEWINGTON TOWN PLAN AND ZONING COMMISSION
PETITION NO. 38-12, 39-12, 40-12
AT THE MEETING OF: 4/10/13
CHAIRMAN: _____
DATE: _____

APPROVED BY THE NEWINGTON CONSERVATION COMMISSION
PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____



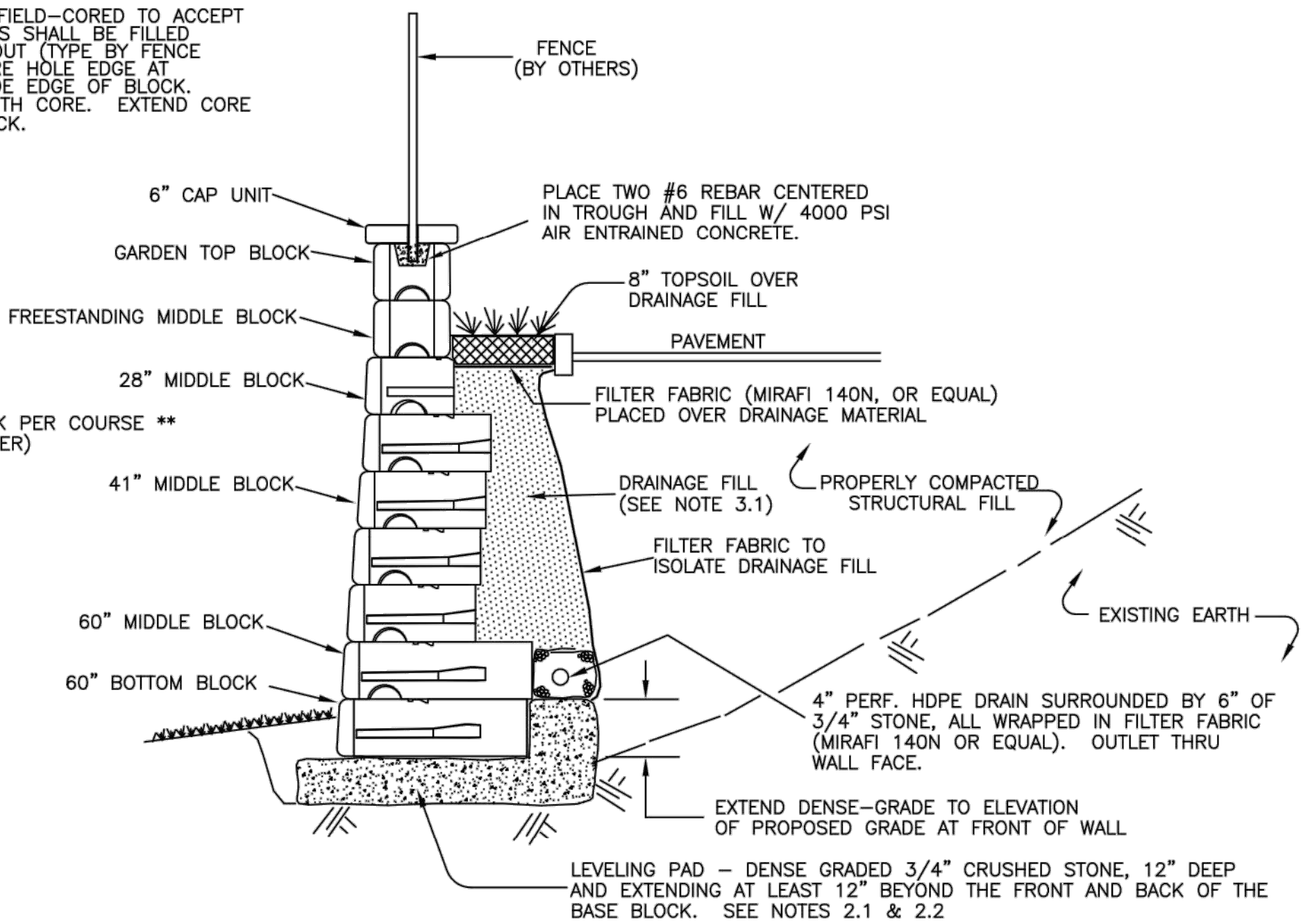
FIRESTONE COMPLETE AUTO CARE
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OWNER: WEX-TUCK REALTY, L.L.C.
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SHEET TITLE:
SITE DETAILS 4
SHEET NUMBER:
C-10

CAP & BLOCK TO BE FIELD-CORED TO ACCEPT FENCE POST. ANNULUS SHALL BE FILLED WITH NON-SHRINK GROUT (TYPE BY FENCE SUPPLIER). KEEP CORE HOLE EDGE AT LEAST 6" FROM OUTSIDE EDGE OF BLOCK. DO NOT CUT REBAR WITH CORE. EXTEND CORE 6" MIN. INTO TOP BLOCK.



MAXIMUM APPLIED BEARING PRESSURE: 2700 psf.

TYPICAL SECTION - GRAVITY WALL
(TYPICAL DETAIL ONLY - SEE WALL FACE DRAWING FOR SPECIFIC BLOCK CONFIGURATIONS)

"REDI-ROCK" SEGMENTAL RETAINING WALL

COMPACTION NOTE: WHERE THE RETAINING WALL PASSES OVER ANY UTILITY LINES, COMPACTION OF THE SOIL WITHIN THE UTILITY TRENCH IS CRITICAL IN ORDER TO PREVENT SETTLEMENT OF THE WALL. COMPACTION OF ALL FILL MATERIAL IN UTILITY TRENCHES WHICH PASS UNDER THIS RETAINING WALL MUST BE AT LEAST 95% OF THE MAXIMUM DENSITY OF THE FILL MATERIAL.

STRUCTURAL FILL GENERAL REQUIREMENTS		
SIEVE SIZE	% PASSING	
3.5"	100%	
1.5"	30-75%	
0.25"	25-60%	
#10	15-45%	
#40	5-25%	
#100	0-10%	
#200	0-5%	

STRUCTURAL FILL PER GEOTECHNICAL REPORT

IMPERVIOUS MATERIAL GENERAL REQUIREMENTS		
SIEVE SIZE	% PASSING	
3"	100%	
#4	80-100%	
#40	50-90%	
#100	40-80%	
#200	30-80%	

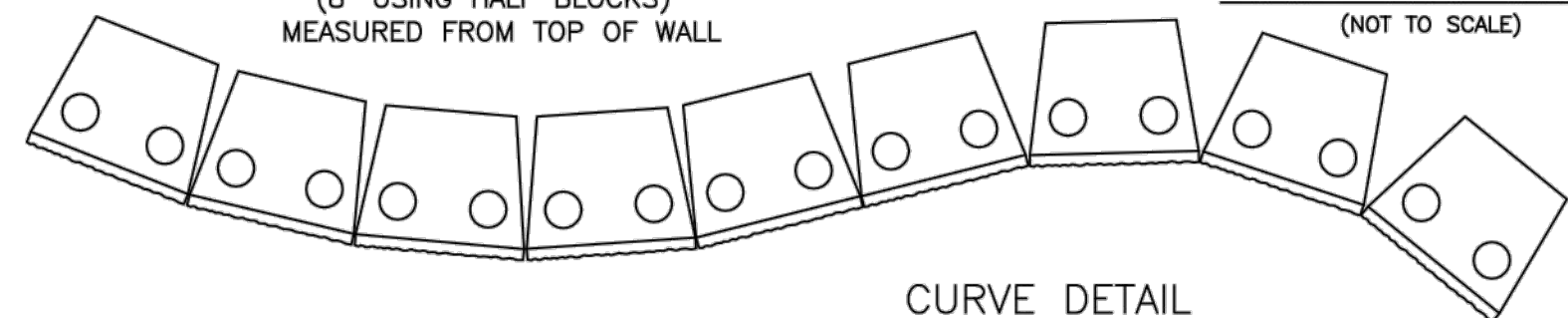
8" OF TOPSOIL IS AN ACCEPTABLE ALTERNATE FOR IMPERVIOUS FILL ALONG THE TOP OF THE WALL.

DESIGN ASSUMPTIONS		
SOIL	SOIL UNIT WEIGHT	φ
SELECT FILL/BACKFILL	135	30
RETAINED EARTH	135	30
FOUNDATION SOIL*	135	30

APPLIED SURCHARGE LOADING: 250 psf
SEISMIC ACCELERATION = 0.15
* WHERE PRESENT

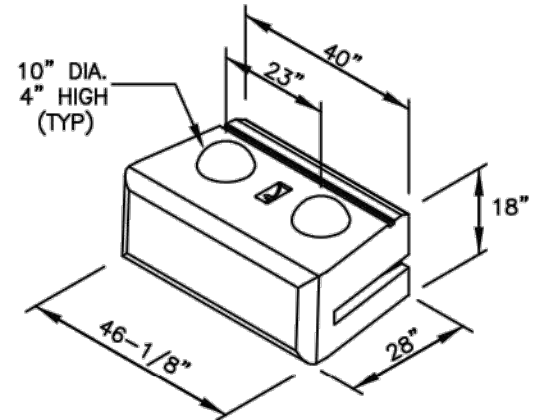
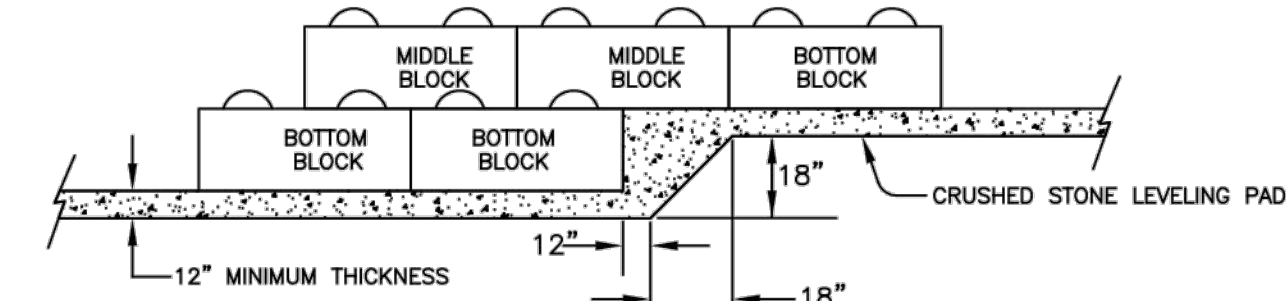
DRAINAGE FILL - ASTM #57 STONE GRADATION REQUIREMENTS		
SIEVE SIZE	% PASSING	
1-1/2"	100	
1"	95 - 100	
1/2"	25 - 60	
#4	0 - 10	
#9	0 - 5	
#200	0 - 2	

MIN. OUTSIDE CURVE
RADIUS = 14.5'
(8' USING HALF BLOCKS)
MEASURED FROM TOP OF WALL

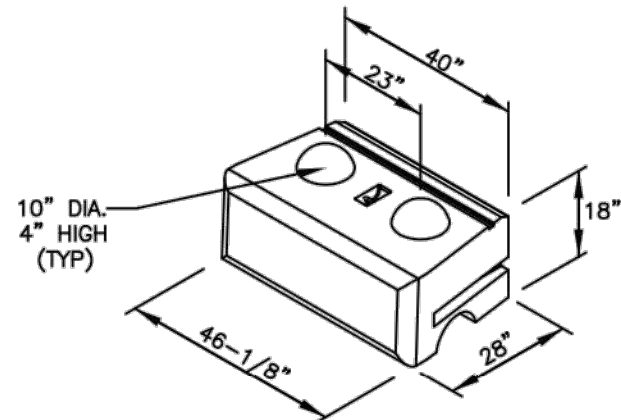


CURVE DETAIL
TYPICAL CURVES
(NOT TO SCALE)

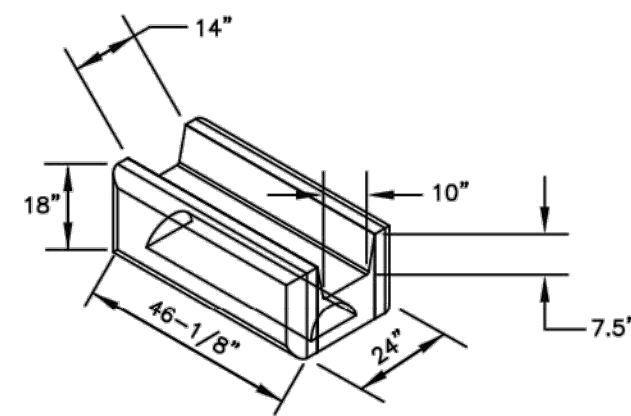
NOTE: WHERE THE REDI-ROCK WALL WILL BE SUPPORTED ON GROUND IMPROVEMENT GAP OR RAP PIERS IT IS THE RESPONSIBILITY OF THE GROUND IMPROVEMENT CONTRACTOR TO EVALUATE THE WALL FOR BEARING CAPACITY AND SLIDING FACTORS OF SAFETY.



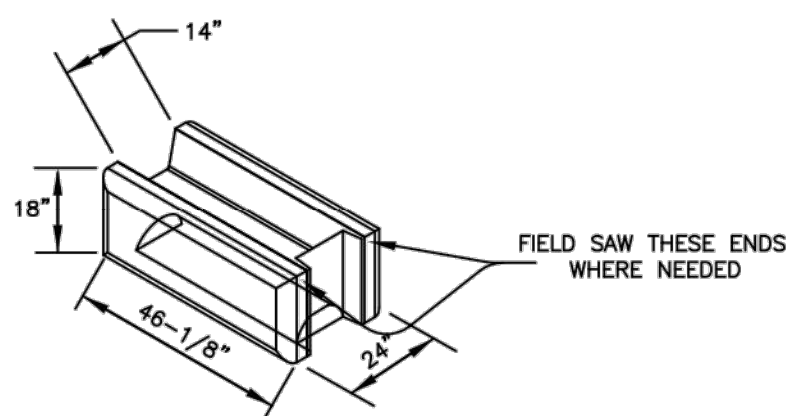
28" BOTTOM BLOCK
NOT-TO-SCALE



28" MIDDLE BLOCK
NOT-TO-SCALE

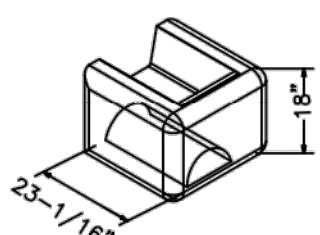


GARDEN TOP BLOCK
NOT-TO-SCALE

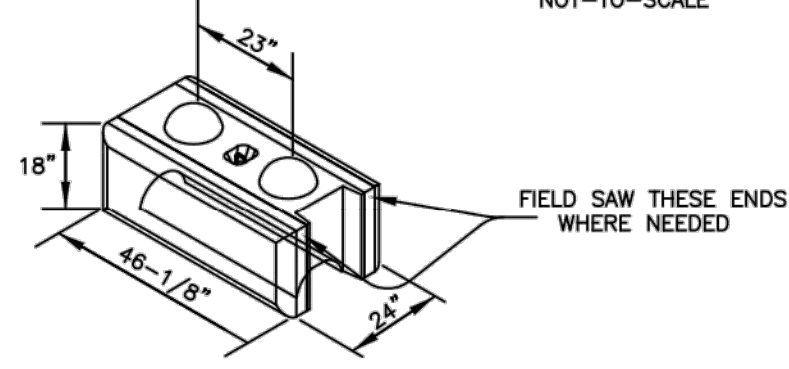


GARDEN TOP BLOCK
VARIABLE RADIUS
NOT-TO-SCALE

ALL STRAIGHT BLOCK STYLES ARE AVAILABLE WITH THE END BLOCK INSERT TO ALLOW THE BLOCKS TO BE USED IN VARIABLE RADIUS WALLS

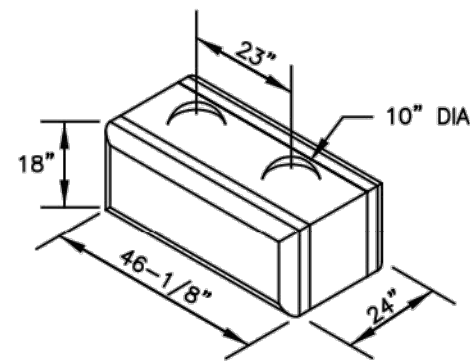


HALF GARDEN CORNER BLOCK
NOT-TO-SCALE

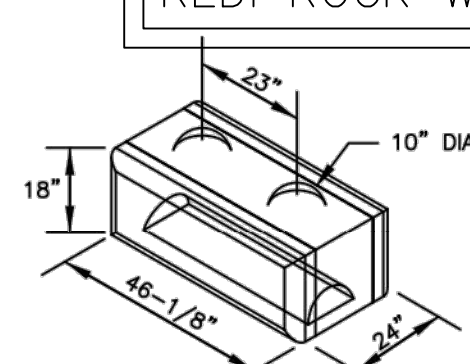


FREESTANDING VARIABLE RADIUS BLOCK
MIDDLE BLOCK
NOT-TO-SCALE

- ALL STRAIGHT BLOCK STYLES ARE AVAILABLE WITH THE END BLOCK INSERT TO ALLOW THE BLOCKS TO BE USED IN VARIABLE RADIUS WALLS (FREESTANDING BLOCK ONLY).
- FIELD SAW BLOCKS ON ENDS TO PROVIDE VARIABLE RADIUS WALLS.
- INTERCHANGEABLE WITH "FLAT END" FREESTANDING BLOCK OF SIMILAR TYPE.

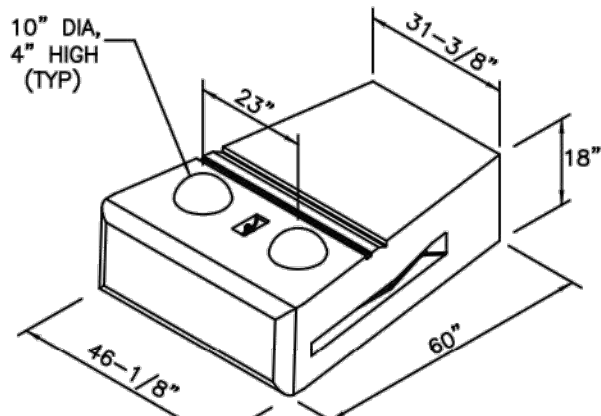


FREESTANDING BOTTOM BLOCK
NOT-TO-SCALE

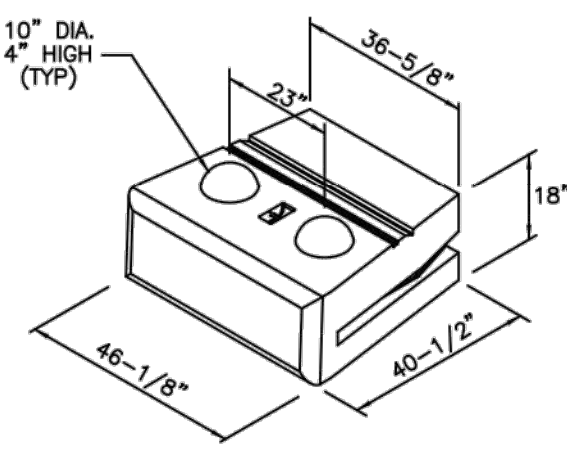


FREESTANDING MIDDLE BLOCK
NOT-TO-SCALE

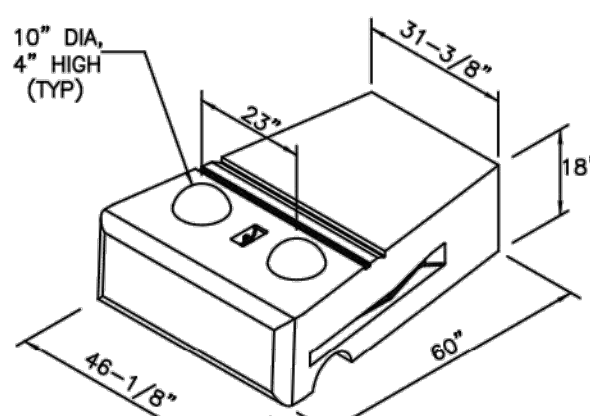
NOTE: HALF-BLOCKS HAVE THE SAME FEATURES AS SHOWN HERE FOR FULL BLOCKS BUT THEY ARE 23-1/16" WIDE, NOT THE FULL 46-1/8" WIDE.



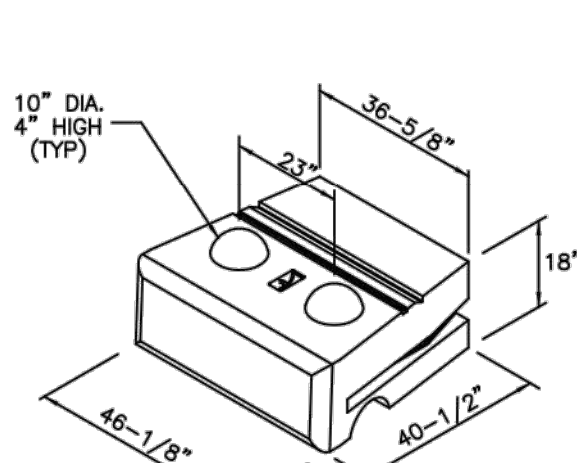
60" BOTTOM BLOCK
NOT-TO-SCALE



41" BOTTOM BLOCK
NOT-TO-SCALE



60" MIDDLE BLOCK
NOT-TO-SCALE



41" MIDDLE BLOCK
NOT-TO-SCALE

GENERAL NOTES:

1. SITE PREPARATION:

- STRIP ALL VEGETATION, ORGANIC SOILS AND UNSUITABLE FILL SOILS FROM THE WALL ALIGNMENT AREA.
- BENCH CUT ALL EXCAVATED SLOPES.
- DO NOT OVER EXCAVATE UNLESS DIRECTED TO DO SO BY THE OWNER'S SITE REPRESENTATIVE IN ORDER TO REMOVE UNSUITABLE SOIL.
- THE OWNER'S SITE REPRESENTATIVE SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.

2. LEVELING PAD & BOTTOM BLOCK:

- WHERE THE LEVELING PAD IS CONSTRUCTED ON SUITABLE NATIVE SOILS IT SHALL CONSIST OF DENSE GRADED 3/4" CRUSHED STONE, 12" THICK AND EXTENDING 12" TO EITHER SIDE OF THE BASE BLOCK.
- WHERE THE LEVELING PAD IS CONSTRUCTED ON GAP OR RAP PIERS THE LEVELING PAD MATERIAL SELECTION AND DESIGN IS THE RESPONSIBILITY OF THE GROUND IMPROVEMENT CONTRACTOR.
- MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE AS INDICATED ON THE WALL FACE DRAWING.
- FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS, ESPECIALLY WITH REGARDS TO LEVELING OF BLOCKS AND BASE.

3. WALL DRAIN:

- DRAINAGE FILL SHALL CONSIST OF ASTM #57 SIZE CRUSHED STONE PLACED FOR A DEPTH OF AT LEAST 12" BEHIND THE WALL. A FILTER FABRIC SHALL BE PLACED OVER THE CUT OR FILL FACE BEHIND THE WALL TO PREVENT THE MIGRATION OF SOIL INTO THE DRAINAGE MATERIAL.
- THE PERFORATED HDPE DRAINS SHALL OUTLET THROUGH THE WALL FACE AT OR NEAR THE LOCATIONS SHOWN ON THE WALL FACE DRAWING.
- PLACE A FILTER FABRIC (MIRAFI 140N, OR EQUAL) OVER THE DRAINAGE MATERIAL TO MINIMIZE SOIL MIGRATION FROM THE SURFACE MATERIAL (TOPSOIL OR IMPERVIOUS) INTO THE DRAINAGE MATERIAL.

4. BACKFILLING & COMPACTION:

- BACKFILL AND COMPACT THE FILL MATERIAL BEHIND THE WALL AS THE WALL IS INSTALLED.
- COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE OWNER'S SITE REPRESENTATIVE.
- COMPACTION SHALL BE TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.
- RECOMMENDED COMPACTION EQUIPMENT WITHIN 15 FEET OF THE BACK OF THE WALL IS AS FOLLOWS:
0 - 4 FEET HAND TAMP OR VIBRATORY PLATE COMPACTOR
4 - 15 FEET NOTHING LARGER THAN TWO-DRUM, WALK-BEHIND VIBRATORY ROLLER (LARGER ROLLERS CAN BE USED STATICALLY, PROVIDED LIFT SIZE DOES NOT COMPROMISE ACHIEVEMENT OF NECESSARY COMPACTION RATES.)

5. GENERAL WALL LAYOUT & CONSTRUCTION:

- FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD BY THE OWNER'S SITE REPRESENTATIVE.
- PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL AND AWAY FROM THE WALL DURING CONSTRUCTION. DO NOT CONSTRUCT A SWALE BEHIND THE WALL AS PART OF THE FINISHED WALL GRADE ABOVE THE WALL SO THAT WATER FLOWS OVER THE WALL FACE OR TO A POINT AT LEAST AS FAR BEHIND THE WALL AS THE WALL HEIGHT.
- TURF, OR SOME ACCEPTABLE FORM OF SOIL EROSION PROTECTION, SHOULD BE ESTABLISHED AT THE TOP OF THE WALL (WHERE REQUIRED) BY THE LANDSCAPE CONTRACTOR AS SOON AS THE WALL IS COMPLETED.
- ENDS OF THE RETAINING WALLS SHALL BE BLENDED INTO THE PROPOSED/EXISTING GRADE IN A MANNER SATISFACTORY TO THE OWNER'S SITE REPRESENTATIVE. AT THE ENDS OF A WALL WHERE BLENDING TAKES PLACE, THE ISSUE IS NOT A STRUCTURAL FACTOR BUT AN AESTHETIC FACTOR AND THE OWNER'S SITE REPRESENTATIVE IS QUALIFIED TO MAKE THIS JUDGEMENT.
- ADHERE CAPS WITH A MINIMUM OF TWO 3/8" DIAMETER BEADS OF CONSTRUCTION ADHESIVE SUCH AS TITEBOND HEAVY DUTY CONSTRUCTION ADHESIVE BY FRANKLIN INTERNATIONAL. MORTAR CEMENT CAN ALSO BE USED.
- IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
- THESE WALLS HAVE BEEN DESIGNED WITH CONSIDERATION OF SEISMIC LOADINGS.
- WALL CERTIFICATIONS: OCCASIONALLY A "SIGN OFF" BY THE DESIGN ENGINEER IS NEEDED AFTER COMPLETION OF WALL CONSTRUCTION. IF THIS SERVICE IS NEEDED ARRANGEMENTS MUST BE MADE WITH THE DESIGN ENGINEER PRIOR TO WALL CONSTRUCTION FOR A SERIES OF SITE VISITS TO OBSERVE WALL CONSTRUCTION. ACCEPTANCE LETTERS, SIGN OFFS, CERTIFICATIONS, WARRANTIES, ETC. WILL NOT BE PROVIDED WITHOUT PERIODIC SITE VISITS.
- THE BARRIER WALL IS BASED ON DATA PROVIDED BY REDI-ROCK INTERNATIONAL. SEE TEST DATA FOR THE "POURED IN PLACE CONCRETE BEAM" METHOD IN THE REDI-ROCK DESIGN RESOURCE MANUAL.

IT IS THE RESPONSIBILITY OF THE INSTALLER TO REVIEW THE NOTES AND DETAILS ON ALL SHEETS OF THIS PLAN SET

NOTE:

THIS PLAN IS FOR GENERAL DESIGN INFO ONLY AND TO DEMONSTRATE THAT THE PROPOSED RETAINING WALL SYSTEM WILL WORK WITHIN THE SITE CONSTRAINTS AS INTENDED. CONTRACTOR SHALL PROVIDE STAMPED FINAL DESIGN OF THE RETAINING WALL SYSTEMS WITH VEHICLE FORCE PROTECTION OBTAINED FROM THE GEOTECHNICAL RECOMMENDATIONS. RETAINING WALL SYSTEM SHALL BE BY REDI ROCK WITH NO EXCEPTIONS.

APPROVED BY THE NEWINGTON
TOWN PLAN AND ZONING COMMISSION

PETITION NO. 38-12, 39-12, 40-12

AT THE MEETING OF: 4/10/13

CHAIRMAN:

DATE:

APPROVED BY THE NEWINGTON
CONSERVATION COMMISSION

PETITION NO. 2012-28

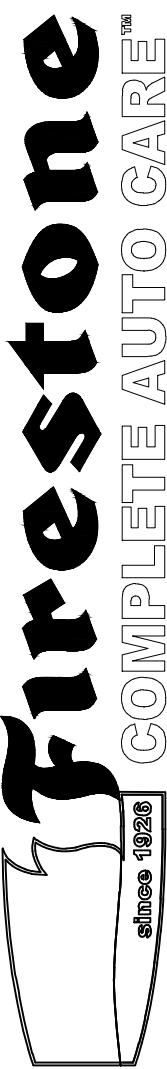
AT THE MEETING OF: 12/18/12

CHAIRMAN:

DATE:



Vanasse Hangen Brustlin, Inc.



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OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
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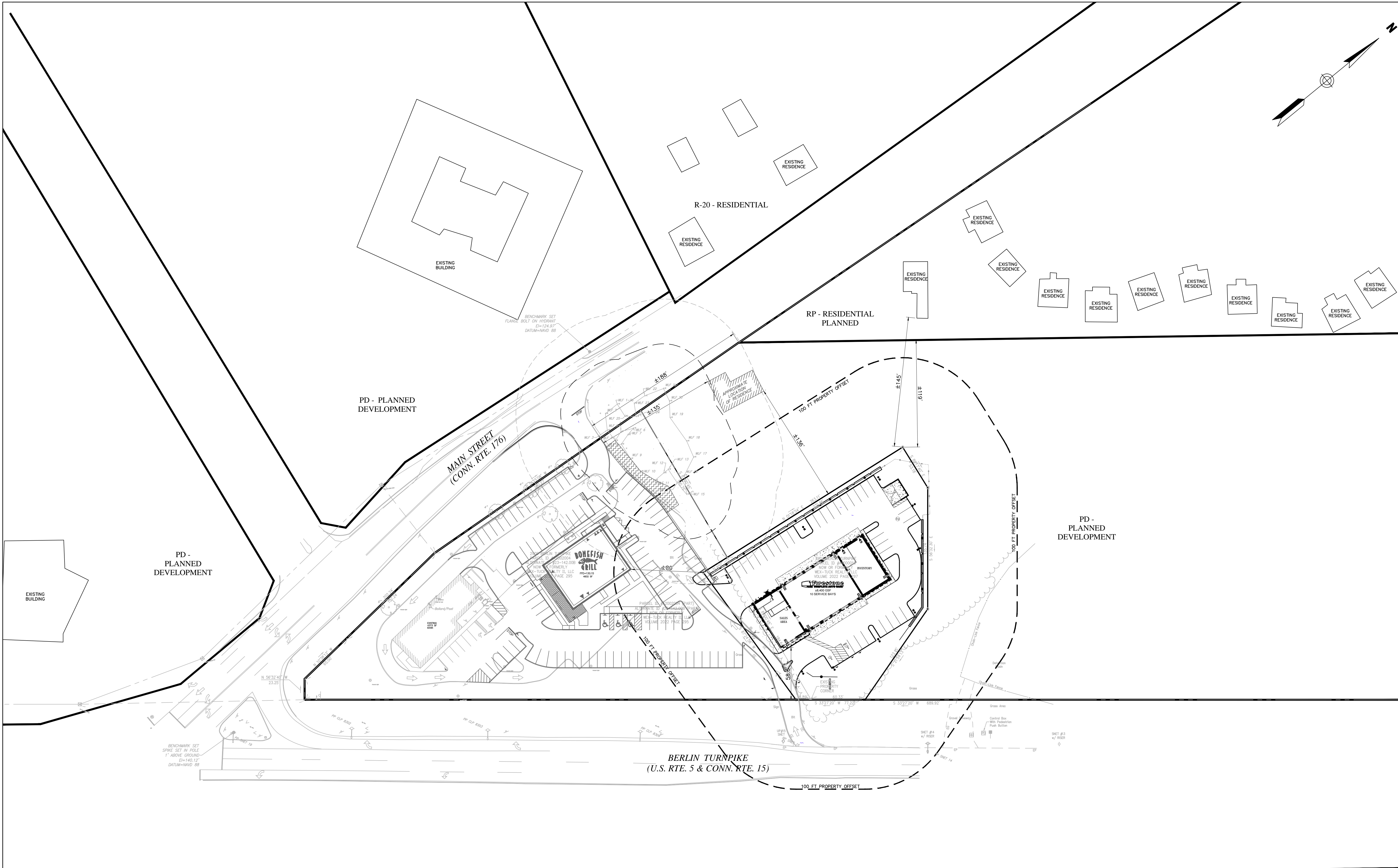
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TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13

SHEET TITLE:

SITE DETAILS 5

SHEET NUMBER:

C-11



NOTE:
ZONING BOUNDARIES SHOWN ARE BASED ON
OVERLAY OF TOWN ZONING MAP. EXISTING
BUILDING SHOWN OUTSIDE OF THE PROPERTY
LIMITS ARE BASED ON AERIAL IMAGES.

APPROVED BY THE NEWINGTON
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PETITION NO. 2012-28
AT THE MEETING OF: 12/18/12
CHAIRMAN: _____
DATE: _____



Vanasse Hangen Brustlin, Inc.

COMPLETE AUTO CARE

FIRESTONE COMPLETE AUTO CARE
2903 BERLIN TURNPIKE
NEWINGTON, CT 06111
OWNER: WEX-TUCK REALTY, L.L.C.
121 PARK STREET
NEW CANAAN, CT 06840

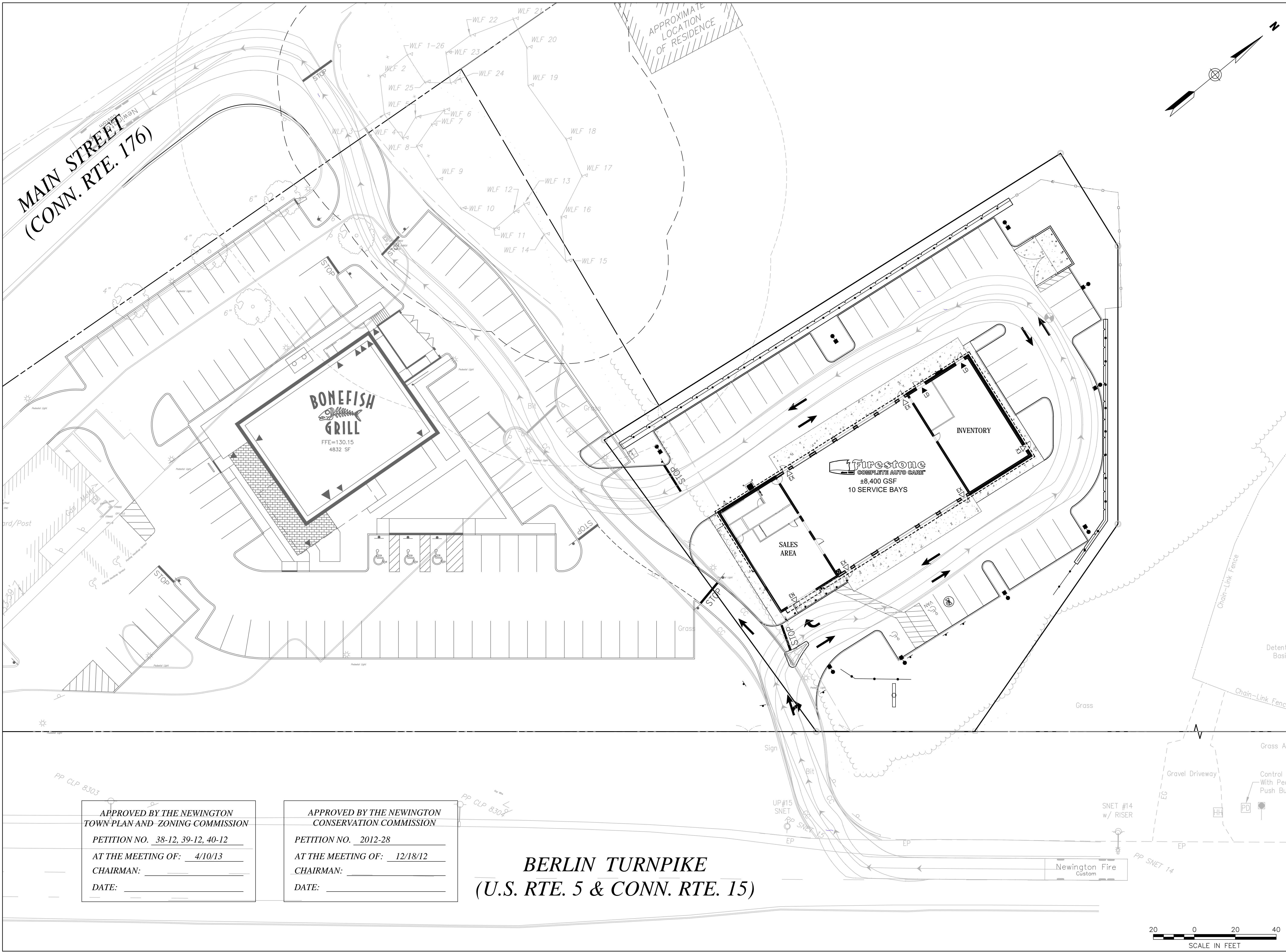
ZONE APPROVAL	(BY/DATE):
VP.	_____
CONTR.	_____
RM.	_____
CM.	_____


PROPERTY NO.:	000000
6 DIGIT NO.:	000000
4 DIGIT NO.:	0000

AOR PROJECT NUMBER: xxxxxxxx
LOCAL APPROVALS: DATE: 11-26-12
TOWN COMMENTS: DATE: 01-22-13
TOWN COMMENTS: DATE: 04-19-13
TOWN COMMENTS: DATE: 05-08-13
FENCE ADDED: DATE: 02-18-20

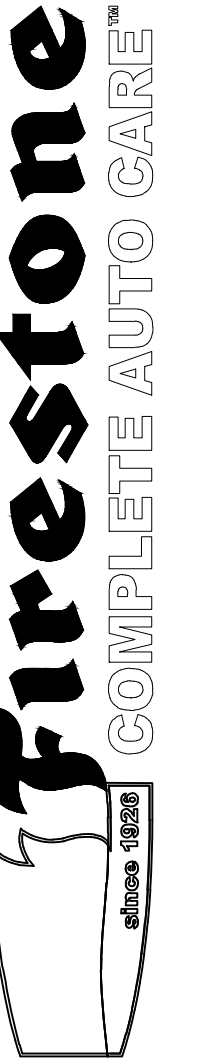
SHEET TITLE:
SITE LOCATION
PLAN

SHEET NUMBER:
SLP-1






Vanasse Hangen Brustlin, Inc.



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STATE OF CONNECTICUT
PAUL VITALIANO
22827
LICENSED PROFESSIONAL ENGINEER
1/20/2020

ZONE APPROVAL (BY/DATE):	
VP.	
CONTR.	
RM.	
CM.	

PROPERTY NO.:	000000
6 DIGIT NO.:	000000
4 DIGIT NO.:	0000
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LOCAL APPROVALS: DATE: 11-26-12	
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TOWN COMMENTS: DATE: 05-08-13	
FENCE ADDED: DATE: 02-18-20	

SHEET TITLE:

**FIRE TRUCK
TURNING PLAN**

SHEET NUMBER:

FT-1